

LINDFIELD VILLAGE LIVING

259 & 265-271 Pacific Hwy, Lindfield 2070

LANDSCAPE DOCUMENTATION

DEVELOPMENT APPLICATION

DRAWING LIST

Dwg No.	Drawing Title	Size	Scale
General			
L-DA-01	Cover Page and Drawing Register	A1	N/A
L-DA-02	Introduction	A1	N/A
L-DA-03	Landscape Design Statement	A1	N/A
L-DA-04	Existing Trees Plan	A1	1:200
Plans			
L-DA-05	Landscape Plan - Ground & Lower Ground	A1	1:200
L-DA-05A	Landscape Plan - Hardworks & Levels - Ground & LG	A1	1:200
L-DA-05B	Landscape Plan - Planting - Ground & LG	A1	1:200
L-DA-06	Balcony Planters - Level 01	A1	1:200
L-DA-06A	Balcony Planters - Level 02	A1	1:200
L-DA-07	Balcony Planters - Level 03	A1	1:200
L-DA-08	Balcony Planters - Level 04	A1	1:200
L-DA-09	Balcony Planters - Level 05	A1	1:200
L-DA-010	Landscape Plan - Rooftop Terrace	A1	1:200
Sections			
L-DA-011	Landscape Elevation 01 and 02	A1	1:200
L-DA-012	Landscape Section A	A1	1:50
L-DA-013	Landscape Section B	A1	1:50
L-DA-014	Landscape Section C	A1	1:50
L-DA-015	Landscape Section D	A1	1:50
L-DA-016	Landscape Section E	A1	1:50
L-DA-017	Landscape Section F	A1	1:50
L-DA-018	Landscape Section G	A1	1:50
Palettes			
L-DA-019	Planting Palette - Zone 01 and 02	A1	N/A
L-DA-020	Planting Palette - Zone 03 and 04	A1	N/A
L-DA-021	Planting Palette - Zone 05 and 06	A1	N/A
L-DA-022	Planting Palette - Zone 07 and 08	A1	N/A
L-DA-023	Planting Schedule	A1	N/A

GENERAL NOTES

* FOR DEVELOPMENT APPLICATION ONLY. NOT FOR CONSTRUCTION

* Do not scale from drawings

* All dimensions in mm unless otherwise stated.

* All tree dimensions and RLs in metres.

* Contractors shall locate and protect all services prior to construction.

* All work shall be carried out in accordance with ASA, BCA and Local Government Regulations.

* Contractors shall protect all adjoining property building, walls and paving. Damaged elements are to be replaced.

* Detailed Landscape design shall be subject to approved conditions of consent, BCA, DDA, access requirements, and Engineering and specialist designs and specification.

* This Drawing is copyright to 360 Degrees Landscape Architects Pty Ltd.

IRRIGATION NOTES

* Irrigation by specialist D&C Irrigation Consultant in accordance with the Performance Specification in the Landscape Technical Specification. Refer to Irrigation Consultant documentation for details and requirements of landscape irrigation system.

* Irrigation is to comply with Council Conditions of Consent and Water Authorities.

* All turf and garden beds within the site boundary are to be irrigated unless stated otherwise.

* Irrigation must be spaced at min. 200 centres and adjusted according to plant setout to provide adequate irrigation to all plants.

* Drip irrigation is to be fully concealed by 75mm minimum of mulch.

LOCATION PLAN



NTS 

ISS.	AMENDMENT	DATE	BY	ARCHITECT	IMPORTANT NOTES:	CLIENT	CHECKED	DWG. TITLE
D	DRAFT Revised Development Application	09.07.19	CB	Level 1, 268A Devonshire Street	Do not reuse from drawings	KU-RING-GAI COUNCIL	GD	Cover Page and Drawing Register
E	DRAFT Revised Development Application	15.07.19	CB	Surry Hills NSW 2010,	All responses to be brought to the attention of the Landscape Architect			
F	DRAFT Revised Development Application	08.08.19	CB	Australia	Original scale drawings and written dimensions shall accompany. All dimensions in mm unless otherwise stated			
G	Revised Development Application	07.08.19	CB	+62 9 2911 2700	All drawings shall be accompanied by any notes			
H	Revised Draft Development Application	19.12.19	CB		Construction shall locate and protect all services prior to construction			
I	Revised Draft Development Application	23.01.20	CB		All work shall be carried out in accordance with AS/NZS 4576 and Local Government Regulations			
J	Revised Development Application	11.02.20	CB		Structural Details shall be signed by Engineer's Specification.			
					Changes to Plans/Details shall be subject to Hydraulic Engineer's Specifications			
					All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Engineer's Specifications	SCALE	ISSUE	
					Drawings shall be prepared in A300 format for any variations in design, construction method, materials specified, and general specifications without compromise from the Project Engineer or Landscape Architect.	DRAWN CB	DA	
					The Designer is licensed to 3/30 years.			

Fox Johnston

**PRELIMINARY
NOT FOR CONSTRUCTION**

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L-DA-01

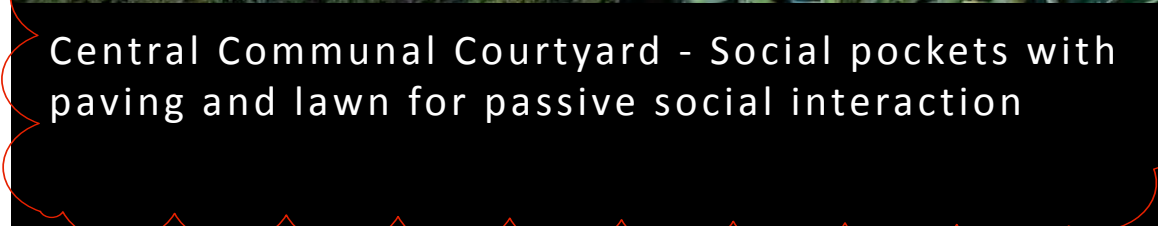
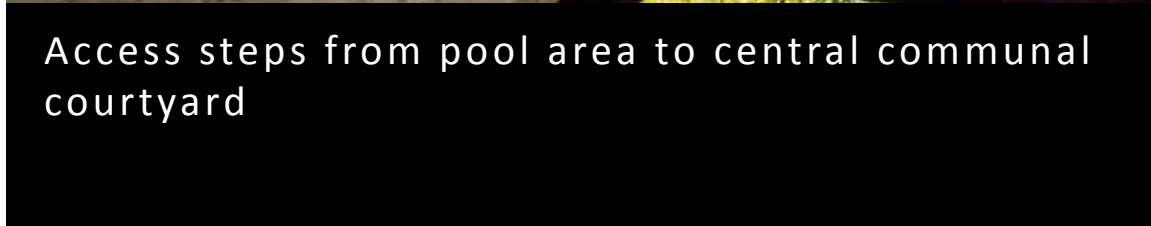
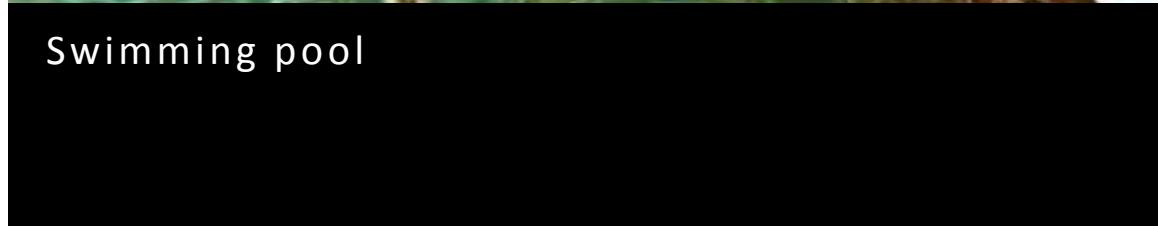
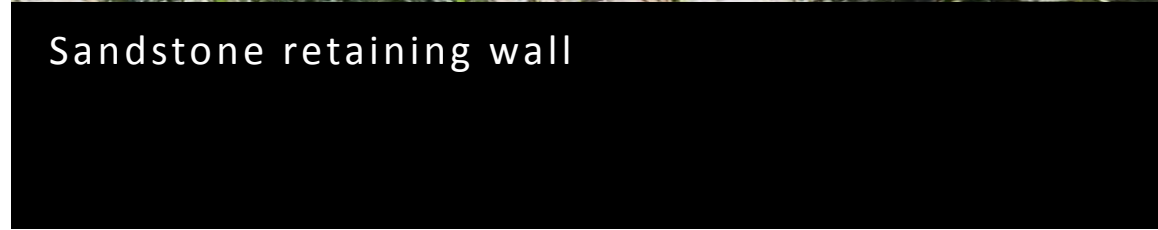
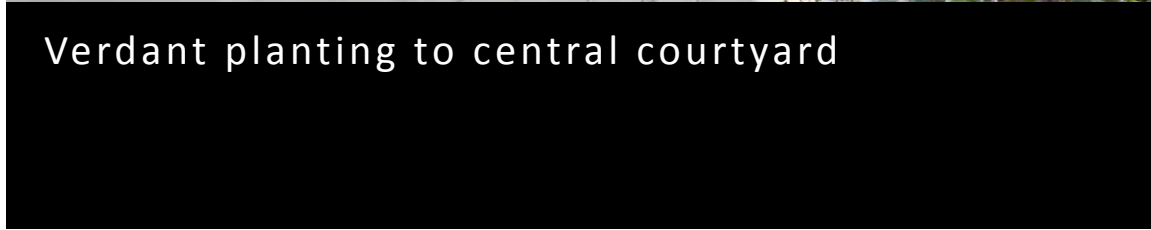
360 Degrees Landscape Architects have been engaged by Ku-ring-gai Council to prepare a Landscape Design for the proposed residential development Lindfield Village Living. This statement will describe the landscape concept for the site and provide a framework for detailed design and documentation.

- Ku-ring-gai Council DCP
- Architectural plans by Fox Johnson

In general the Landscape Architectural design sets out to provide a stimulating environment responsive to the scale of the development. The plant selection has been made from plant species suited to various microclimatic conditions and site requirements with local native and indigenous species used where applicable, including a review of Council's weed management policy, the Sydney Water Plant Selector and the BASIX Indigenous Plant List.

The overall design aims for an environmental and socially sustainable landscape and an integrated landscape experience with the building architecture and function, activating the site and creating a vibrant precinct and place to live.

The primary landscape architectural components of this project can be divided as follows for descriptive purposes;



L-DA-02

STREETSCAPE, ENTRIES AND TRYON PLACE SHARED LANEWAY

The Streetscape and Entry Courtyards are for residents and visitors, integrating the private and the public domain. The new shared laneway extension to Tryon Place to the North of the site will provide an enlivened and active through-site connection. The landscape allows for visual clarity to the lobby entries and central courtyard with generous planted areas, a pocket park, swale / raingarden planting and feature trees. The Pacific Highway Pedestrian Entry and Retail Entry Courtyards serve to activate the ground floor retail space and public laneway. The combined retail space, landscaped pathways and entry courtyards create a dynamic fine grain at street level.

The landscape plan proposes to retain and protect two of the existing street trees T36 and T37 (*Pistacia chinensis*) and replace T35 with another *Pistacia chinensis* further along Pacific Highway frontage to the south.

The proposed planting to the street frontage offers the street edge of the development a residential interface and pedestrian scape, the entries from the street and the façade of the new building articulates the main entry points from Pacific Highway & Tryon Place. A building setback minimum of 13000mm to the Northern boundary and 6000mm to the Southern Boundary provides a generous landscape zone for Tryon Place Laneway and neighbouring properties.

The planting to the development will be maintained as part of the strata management program to ensure planting stays consistent and healthy with common access to the private open spaces being provided for convenience of maintenance.

Views to the Central Communal Courtyard will be seen from Tryon Place, creating a visual link between the public domain and the gardens and a sense of visual permeability.

CENTRAL COMMUNAL COURTYARD (COMMUNAL OPEN SPACE)

The Central Communal Courtyard will provide residents with a series of spaces for passive & active recreation and seasonal solar access and/or shade. These areas are accessible from either the developments main entry via steps or a lift from the Pacific Highway Entry Foyer or from the gated access on Tryon Place, with facilities for seating, pedestrian movement and passive and active recreation. The tree and lush screen planting minimizes privacy issues between the communal and private spaces.

The proposed Central Communal Courtyard, particularly the tree planting is designed to create a suitable balance of privacy, amenity and solar access. A diversity of plant species is continued through the landscape while a unified canopy species selection of *Archontophoenix cunninghamiana*, *Howea forsteriana*, *Pistacia chinensis*, *Nyssa sylvatica*, *Acer palmatum*, *Tristaniopsis laurina* ‘Luscious’, *Betula nigra*, *Elaeocarpus reticulatus* and *Lagerstroemia indica* provides seasonal variation.

Sandstone retaining walls with timber seating edges are provided within the Central Communal Courtyard and along the path network, continuing a common language in materials throughout the site and creating intimate respites. Brick paving has been proposed, allowing access to the building entries through the site. These paths also allow for access and maintenance to the private courtyards.

The garden beds will be planted with a diversity of species - predominantly native plants, some indigenous plant species and accented with exotics as required to meet the micro-climatic conditions. Screen planting such as *Syzygium* ‘Cascade’ will be positioned close to the private courtyard interface and *Tristaniopsis laurina* ‘Luscious’ and *Betula nigra* strategically placed to the building entries to allow delicate patterns and filtered light into the courtyards.

Proposed hardy plants to the planters will include *Blechnum Silver Lady*, *Plectranthus argentatus*, *Plectranthus* ‘Mona Lavender’, *Syzygium cascade*, *Alpinia caerulea*, *Michelia figo*, *Indigophora australis*, *Doryanthes excelsa*, *Pachysandra terminalis*, *Rhaphiolepis* ‘Snow Maiden’, *Rhaphiolepis* ‘Oriental Pearl’, *Lomandra* ‘Shara’, *Dianella* ‘Little Jess’, *Ophiopogon jaburan*, *Chrysocephalum apiculatum*, *Hibbertia scandens*, *Viola hederacea* and *Trachelospermum jasminoides*.

PRIVATE COURTYARDS

The proposed landscape plan encourages indoor/outdoor relationships. Screening is achieved between private courtyards and communal areas with a steel palisade fence and hedge planting e.g. *Syzygium* ‘Cascade’ and *Alpinia caerulea*. This will create a privacy screen and buffer to the private/communal areas. Where private courtyards meet communal open space, hedging will be on the communal open space side (on common property) to ensure the planting and a green edge is maintained.

ROOF GARDEN TERRACE (LEVEL 6)

The proposed communal Roof Garden Terrace to Level 6 will provide additional communal spaces for passive and active recreation with shade structures, daybeds, BBQ area, tables and chairs, and a generous planted zone with northerly aspect. Shade structures are proposed on the rooftop to provide shade and amenity - they will have climbers trellising the structure to provide a green curtain. The Roof Garden Terrace includes small feature trees including *Tristaniopsis laurina* ‘Luscious’, *Olea europaea*, *Plumeria rubra*, *Lagerstroemia indica* and *Citrus x limon* (Lemon Trees). Other plantings proposed includes *Adenanthos sericeus*, *Opuntia* ‘Burbank Blue’, *Aloe arborescens*, *Aloe plictilis*, *Alyxia buxifolia*, *Crassula ovata* ‘Blue Bird’, *Lomandra* ‘Lime Tuff’, *Lavandula dentata*, *Beschorneria yuccoides*, *Rhaphiolepis* ‘Snow Maiden’, *Westringia fruticosa* ‘Mundi’, *Chrysocephalum apiculatum*, *Rosmarinus officinalis* ‘Blue Lagoon’, *Petroselinum crispum* (Garden Parsley), *Ocimum basilicum* (Basil), *Trachelospermum jasminoides*, *Hibbertia scandens* and *Thunbergia grandiflora*. The proposed communal garden will include a worm farm and composting and will provide opporunties for residents to enjoy solar access and views while engaging with each other, creating a strong sense of community where residents can plant their own food plants.

MAINTENANCE

All systems, setout and plant selection has been closely considered to minimise maintenance. Simple durable materials e.g. timber, brick and cobble stonepaving, sandstone, concrete and appropriate planting species have been implemented to minimise maintenance requirements for the successful continuance of the site. Drip irrigation shall be provided to all garden beds. Maintenance of all communal landscape elements are to be conducted by qualified maintenance staff. Refer to Maintenance Plan for further details.

CONCLUSION

The landscape design supports the projects value proposition of establishing an environment that fosters community ownership, which caters to residents’ needs through engaging and memorable landscape design. The over arching landscape concept is for an external environment that supplements and connects the spectrum of private and communal spaces created by the architecture.

The landscape itself is conceived as an urban garden. It is a counterpoint to the modern architecture and a complement to the district’s residential scale and garden character. It is a juxtaposition of wild urban oasis and a familiar domestic courtyard, always with an air of relaxed informality. This garden demonstrates a progressive approach to landscape in our urban centres; in this residential development, the garden contributes as much to the character of the suburb and its inhabitants as it does to the enjoyment of its residents.

The proposed landscape plan encourages indoor/outdoor relationships, the buildings edge seamlessly transitions to the surrounding landscape, offering a unified internal and external spatial experience. The arrangement of these courtyards promotes healthy and active lifestyles while providing adaptability to engage a variety of uses, including outdoor dining, passive relaxation and active recreation.

We believe that the proposed Landscape design for Lindfield Village Living will contribute to the urban character and visual quality of Lindfield and provide a rich and rewarding environment for residents to promote environmental and social sustainability. The planting has been selected to complement and enhance the proposed building and responds to the existing planting of the local area with the majority of native and low water use plant species being proposed. Consideration has been made for a low maintenance landscape.

ISS.	AMENDMENT	DATE	BY	ARCHITECT	<div>IMPORTANT NOTES: Do not scale from drawings. All dimensions to be checked to the attention of the Landscape Architect. Larger scale drawings and wider dimensions take preference. All dimensions in mm unless otherwise stated. All line dimensions and fill in metres. Use Imperial dimensions only. Verify all dimensions on site before the commencement of any works. Construction shall follow and comply with relevant standards and specifications. All work shall be carried out in accordance with the relevant local government's Regulations. Structural details shall be subject to Engineer's Specifications. Changes to final design details shall be subject to Engineer's Specifications. All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and the specifications of the relevant local government. The Drawing is copyright to 360degrees.</div>	CLIENT	CHECKED	DWG. TITLE	<div><div>360°</div><div>Level 1, 1 Marys Place Surry Hills NSW 2010 p +612 9338 3801 w www.360.net.au ABN 90 146 801 380</div></div> <div>Level 1, 1 Marys Place Surry Hills NSW 2010 p +612 9338 3801 w www.360.net.au ABN 90 146 801 380</div>	L-DA-03
D	DRAFT Revised Development Application	09.07.19	CB	Level 1, 268A Devonshire Street Surry Hills NSW 2010, Australia +61 2 9211 2700		KU-RING-GAI COUNCIL	GD	Landscape Design Statement		
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J	Revised Development Application	11.02.20	CB							
					SCALE N/A	DRAWN CB	ISSUE DA	Lindfield Village Living Project	PRELIMINARY NOT FOR CONSTRUCTION	

- Notes:**
1. All planting areas to be mulched, typically 75mm depth. Organic mulch to conform to *AS 4454 - 2003 Compost Soil Conditioners & Mulches*
 2. Soils to conform to AS 4419 - 2003 Soils for Landscaping & Garden Use
Soil Depths:
 - Grass Areas minimum 300mm deep
 - Planting/Garden areas minimum 450mm deep
 3. All planting areas to have drip irrigation lines with a backup connection to main water supply, installed to satisfy all current Sydney Water requirements and relevant Australian Standards.
 4. Garden Beds with maximum 1:4 slope are sufficient for planting trees, shrubs and groundcovers (maximum 1:3 slope is Industry Standard)

NOTE:
KERB AND ASPHALT FOR FIRST 20M (ENTRY)
SHARED ZONE TO REST OF TRYON PLACE LANEWAY



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**Fox
Johnston**

IMPORTANT NOTES:

- Do not scale from drawings
- All discrepancies be brought to the attention of the Landscape Architect
- Larger scale drawings and written dimensions take precedence. All dimensions in mm unless otherwise stated
- Use all dimensions and IRLs
- Use figured dimensions
- Verify all dimensions on site before the commencement of any works
- Considerations such as slope and present all services prior to construction
- Work shall be carried out in accordance with AS/NZS 4576:2001 Local Government Regulations, Structural Details shall be subject to Engineer's Specifications
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications
- All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawing and Detailing Standards
- No responsibility will be taken by 360 degrees, for any variations in design, construction method, materials specified, and general omissions within the drawings from the Project Engineer or Landscape Architect.
- This Drawing is compliant to 360 degrees

CLIENT	KU-RING-GAI COUNCIL
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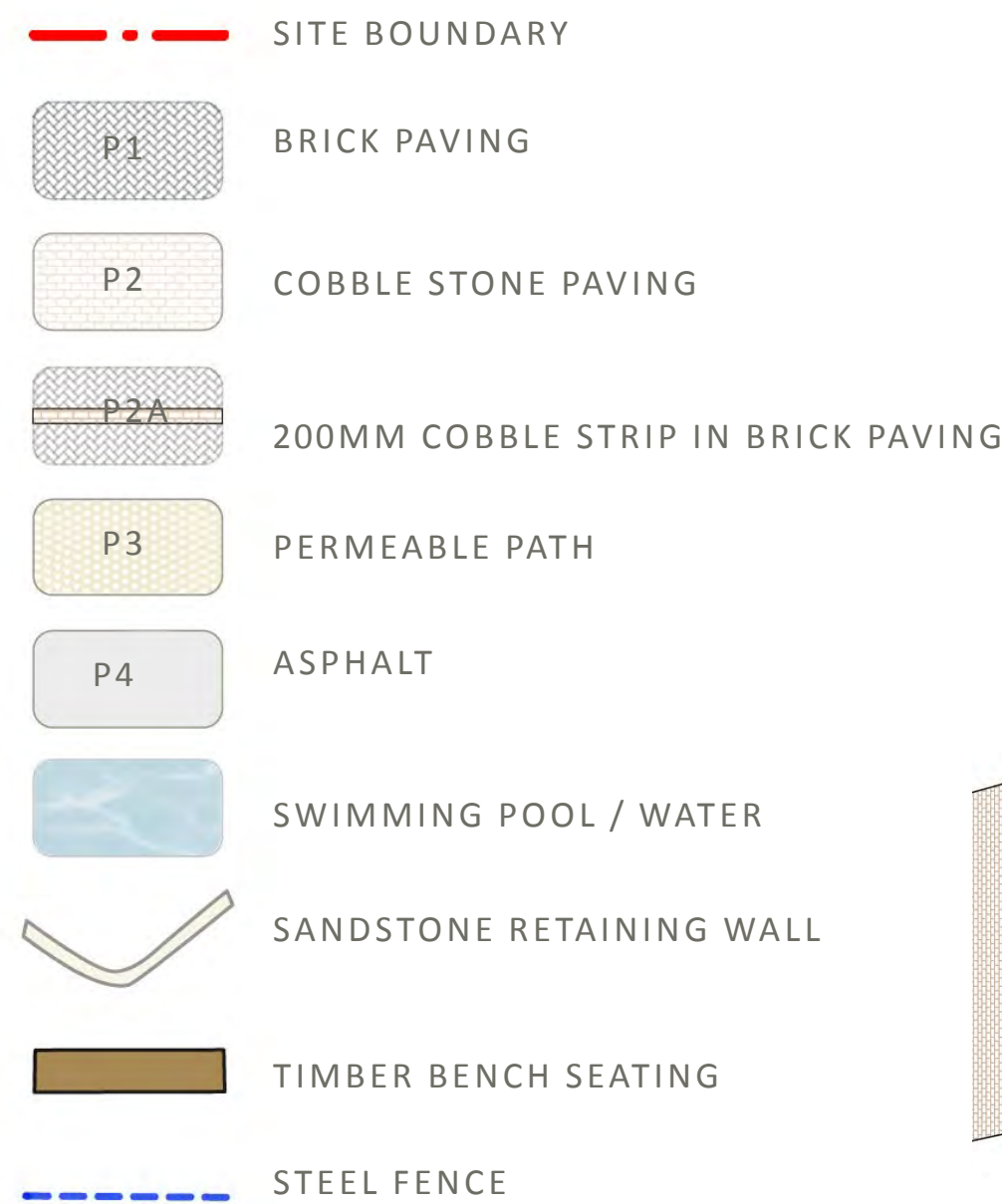
DWG. TITLE

Landscape Plan - Ground and Lower Ground

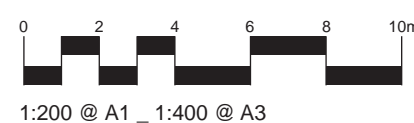
PROJECT
Lindfield Village Living Project

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- 1A VEHICLE ENTRY TO TRYON PLACE LANEWAY
- 1B PEDESTRIAN ENTRY TO TRYON PLACE LANEWAY
- 2 PEDESTRIAN ENTRY TO DEVELOPMENT
- 3 RAISED SANDSTONE PLANTER / WALL
- 4 SHARED ZONE TO COUNCIL SPECIFICATION. TRANSITION ZONES INDICATED WITH MATERIAL CHANGE (BRICK AND COBBLE STONES) KERB FOR FIRST 20 METERS
- 5 RETAIL LANDSCAPE COURTYARD WITH BRICK AND COBBLE PAVING
- 6 CENTRAL COMMUNAL COURTYARD WITH BRICK PAVING
- 7 TIMBER BENCH SEAT
- 8 PROPOSED POCKET PARK WITH COBBLE PAVING AND BENCH SEATS
- 9 STEPS TO POCKET PARK AND SITTING EDGE
- 10 TIMBER DECK TO POOL



ISS.	AMENDMENT	DATE	BY
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G	Revised Development Application	11.02.20	CB

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Fox Johnston

IMPORTANT NOTES:
Do not scale from drawings.
All dimensions are to be checked to the attention of the Landscape Architect.
Landscape Architect's drawings are to be used for construction purposes only.
Verify all dimensions on site before the commencement of any works.
Construction and landscape details are to be checked to the attention of the Landscape Architect.
All work shall be carried out in accordance with the relevant Australian Standards and Regulations.
Detailed construction details shall be subject to Engineer's Specification.
Engineer's Specification shall be a professional standard by Qualified Tradesman according to Landscape Drawings and the responsibility will fall on the Engineer for any variation in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
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DWG. TITLE
Landscape Plan - Hardworks & Levels - Ground & Lower Ground

PROJECT
Lindfield Village Living Project

**PRELIMINARY
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L-DA-05A

- 1 BALCONY PLANTING
- 2 POT PLANTS TO BALCONIES

This is a detailed architectural site plan for the University of Washington Medical Center. The plan shows the layout of several large, interconnected building footprints, each with internal room divisions and labels (e.g., 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899,



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F	DRAFT Revised Development Application	06.08.19	CB
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H	Revised Draft Development Application	19.12.19	CB
I	Revised Draft Development Application	23.01.20	CB
J	Revised Development Application	11.02.20	CB

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**Fox
Johnston**

IMPORTANT NOTES:

- Do not scale from drawings
- All discrepancies to be brought to the attention of the Landscape Architect
- Original scale drawings and dimensions take preference. All dimensions in mm unless otherwise stated
- All free dimensions and R/Ls in metres.
- Use figured dimensions only
- Verify all dimensions on site before the commencement of any works.
- Contractors shall locate and protect all services prior to construction.
- All work shall be carried out in accordance with ABA, BCA and Local Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- All work shall be carried out in professional manner by a Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.
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DWG. TITLE

Balcony Planters - Level 01

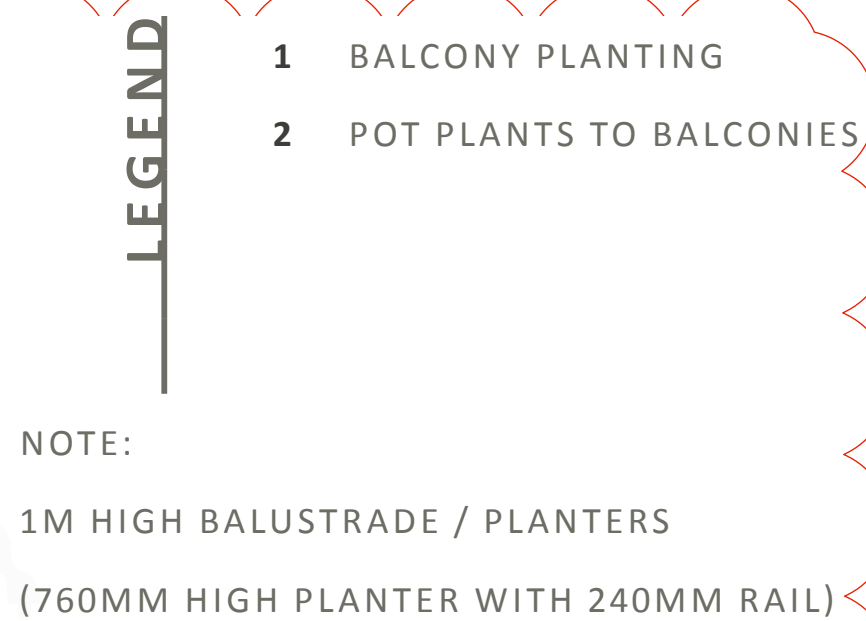
PROJECT

Lindfield Village Living Project

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L-DA-06



DWG. TITLE
Landscape Plan - Level 02

PROJECT
Lindfield Village Living Project

- 1 BALCONY PLANTING
- 2 POT PLANTS TO BALCONIES

The image is a detailed site plan of the University of California, San Diego (UCSD) campus. The plan is oriented with the top of the page towards the northwest. A red line outlines the main campus area. Buildings are labeled with numbers 1 through 10. Roads are labeled with names like 'PACIFIC HWY' and 'LA JOLLA VILLAGE DR'. Green spaces are indicated by green shading and tree symbols. The plan also shows the location of the 'UCSD' logo and the 'UCSD' name in large letters.



ISS.	AMENDMENT	DATE	BY
D	DRAFT Revised Development Application	08.07.19	CB
E	DRAFT Revised Development Application	15.07.19	CB
F	DRAFT Revised Development Application	06.08.19	CB
G	Revised Development Application	07.08.19	CB
H	Revised Draft Development Application	19.12.19	CB
I	Revised Draft Development Application	23.01.20	CB
J	Revised Development Application	11.02.20	CB

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IMPORTANT NOTES:

Do not scale from drawings

All discrepancies to be brought to the attention of the Landscape Architect

Original scale drawings and dimensions take preference. All dimensions in mm unless otherwise stated

All free dimensions and R/Ls in metres.

Use figured dimensions only

Verify all dimensions on site before the commencement of any works.

Contractors shall locate and protect all services prior to construction.

Work shall be carried out in accordance with AS/NZS and Local Government Regulations.

Structural Details shall be subject to Engineer's Specifications.

Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.

Work shall be carried out in professional manner by a Qualified Tradesman according to Landscape Drawings and Engineer's Specifications.

No responsibility will be taken by 360 degrees, for any variations in design, construction method, materials specified, or general specifications without permission from the Project Engineer or Landscape Architect.

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PROJECT
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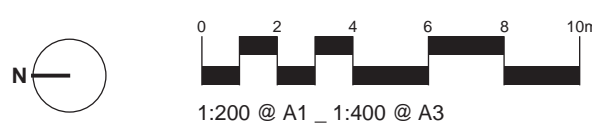
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L-DA-07

LEGEND

- 1 BALCONY PLANTING
- 2 POT PLANTS TO BALCONIES

Refer to Zone 7 Planting Palette L-DA-022



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IMPORTANT NOTES:

- Do not scale from drawings.
- All discrepancies to be brought to the attention of the Landscape Architect.
- Larger scale drawings may indicate dimensions take preference. All dimensions in mm unless otherwise stated.
- All tree dimensions and RFL to be confirmed with the client.
- Use figured dimensions on site before the commencement of any works.
- Confirm locations and pre-set services prior to construction.
- Work shall be carried out in accordance with the relevant Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Features Details shall be subject to Hydraulic Engineer's Specifications.
- All work shall be carried out in a professional manner by Qualified Trained personnel according to Landscape Drawings and Specifications.
- It is the responsibility of the client to provide a 360 degrees, for any variations in design, construction method, materials specified, and material specifications without limitation from the Project Engineer or Landscape Architect.
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DWG. TITLE

Balcony Planters - Level 04

PROJECT

Lindfield Village Living Project

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L-DA-08

1 BALCONY PLANTING

2 POT PLANTS TO BALCONIES

The image is a detailed architectural site plan of the University of California, San Diego (UCSD) campus. The plan shows the layout of the main building complex, which is outlined in red. The buildings are arranged in a grid-like pattern, with various rooms and corridors labeled. The surrounding area is shaded in light green, representing landscaping and green spaces. A large body of water, likely a pond or lake, is visible in the center of the campus. The Pacific Highway is labeled at the bottom right of the plan. Numbered markers (1 and 2) are placed throughout the plan to indicate specific locations of interest. Marker 1 is located near the bottom right building, and marker 2 is located near the top left building. The plan also shows various other features such as parking lots, walkways, and landscaping elements.



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J	Revised Development Application	11.02.20	CB

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IMPORTANT NOTES:

- Do not scale from drawings.
- All discrepancies to be brought to the attention of the Landscape Architect.
- Larger scale drawings win over smaller drawings take preference. All dimensions in mm unless otherwise stated.
- All tree dimensions and RFL to be confirmed with the client.
- Use figured dimensions on site before the commencement of any works.
- Confirm locations and pre-set services prior to construction.
- All work shall be carried out in accordance with the relevant Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
- All work shall be carried out in a professional manner by Qualified Trained personnel according to Landscape Drawings and Specifications.
- It is the responsibility of the client to provide a 360 degrees, for any variations in design, construction method, materials specified, and material specifications without limitation from the Project Engineer or Landscape Architect.
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SCALE
1:200@A1

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DWG. TITLE
Balcony Planters - Level 05

PROJECT
Lindfield Village Living Project

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L-DA-09



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D	DRAFT Revised Development Application	09.07.19	CB
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F	DRAFT Revised Development Application	06.08.19	CB
G	Revised Development Application	07.08.19	CB
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I	Revised Draft Development Application	23.01.20	CB
J	Revised Development Application	11.02.20	CB

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**Fox
Johnston**

IMPORTANT NOTES:

- Do not scale from drawing.
- All discrepancies to be brought to the attention of the Landscape Architect
- Large scale drawings and written dimensions take preference. All dimensions in mm unless otherwise stated.
- Use Imperial dimensions and units in metric.
- Verify all dimensions on site before the commencement of any work.
- Contractors shall locate and protect all services prior to construction.
- Work shall be carried out in accordance with the UK Building Regulations, UK Building Control, and UK Government Regulations.
- Structural Details shall be subject to Engineer's Specifications.
- Drainage & Watercourse Details shall be subject to Hydraulic Engineer's Specifications.
- All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and written dimensions.

No responsibility will be taken for 360 degrees, for any variations in design, construction method, materials, specified, or performance without permission from the Project Engineer or Landscape Architect.

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SCALE
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DWG. TITLE

Landscape Plan - Roof Terrace

PROJECT

Lindfield Village Living Project

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L-DA-0710



- # LEGEND
- 1 EXISTING STREET TREE
 - 2 NEW STREET TREE
 - 3 GARDEN BEDS WITH NATIVE AND EXOTIC TREES
 - 4 FEATURE TREE
 - 5 RETAIL LANDSCAPE COURTYARD
 - 6 STREET VERGE PLANTING
 - 7 BIO RETENTION BASIN. REFER TO HYDRAULIC ENGINEER'S DRAWINGS
 - 8 ROOF GARDEN
 - 9 BALCONY PLANTING



-

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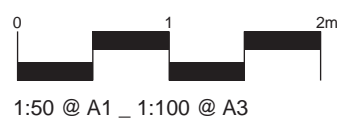
- LEGEND
- 1 BRICK PATH
 - 2 TIMBER BENCH SEAT
 - 3 GRASS LAWN AREAS
 - 4 FEATURE TREE E.G. *NYSSA SYLVATICA* IN DEEP SOIL
 - 5 GROVE TREES TO TERRACED GARDEN
 - 6 TREES AND PLANTING TO NEW LANEWAY
 - 7 GARDEN BED WITH A COMBINATION OF NATIVE AND EXOTIC TREES AND SHRUBS
 - 8 BLOCKWORK RETAINING WALLS WITH SANDSTONE ON TOP WHERE EXPOSED
 - 9 RETAIL LANDSCAPE AREA
 - 10 BALCONY PLANTING



KEY PLAN - GROUND FLOOR



SECTION B - RETAIL LANDSCAPE AND COMMUNAL CENTRAL COURTYARD



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Fox Johnston

IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked to the attention of the Landscape Architect.
Larger scale drawings and smaller dimensions take preference. All dimensions in mm unless otherwise stated.
All tree dimensions and RLs in metres.
Use typical dimensions only.
Verify all dimensions on site before the commencement of any works.
Consultation and advice and written consent must be obtained from the relevant Government Regulators.
Drawings shall be subject to Engineer's Specifications.
Changes to the drawings shall be subject to the Engineer's Specifications.
All work shall be completed in accordance with the relevant Government Regulations.
Engineer's Specifications shall be a professional standard by Qualified Tradesman according to Landscape Drawings and the responsibility will fall on the Engineer for any variation in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
The Drawing is subject to 30% approval.

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1:50 @ A1

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DWG. TITLE

Landscape Section B

PROJECT

Lindfield Village Living Project

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w www.360.net.au
ABN 90 146 801 385

L-DA-013

- LEGEND
- 1 TRYON PLACE BRICK PAVING
 - 2 COBBLE STONE DETAIL
 - 3 SANDSTONE RETAINING WALL
 - 4 POCKET PARK WITH COBBLE STONE PAVING AND BENCH SEATS
 - 5 SCREEN PLANTING AND FEATURE TREES
 - 6 VERGE PLANTING
 - 7 PALMS
 - 8 NEW FENCE (PROPOSED NEW BOUNDARY)



KEY PLAN - GROUND FLOOR

SITE
BOUNDARY



SECTION C - TRYON PLACE



0 1 2m
1:50 @ A1 _ 1:100 @ A3

ISS	AMENDMENT	DATE	BY
D	DRAFT Revised Development Application	09.07.19	CB
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Fox Johnston

IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked to the attention of the Landscape Architect.
Landscape scale drawings are not to be used for construction. All dimensions in millimetres unless otherwise stated.
All tree dimensions and RLs in metres.
Use typical dimensions only.
Verify all dimensions on site before the commencement of any works.
Construction and finish details are subject to the Engineer's Specifications.
All work shall be carried out in accordance with the relevant Australian Government Regulations.
Structural details shall be subject to the Engineer's Specifications.
All work shall be carried out in accordance with the relevant Australian Government Regulations.
Engineer's Specifications shall be subject to the Engineer's Specifications.
The drawings are subject to the Engineer's Specifications.

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SCALE
1:50 @ A1

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DWG. TITLE

Landscape Section C

PROJECT

Lindfield Village Living Project

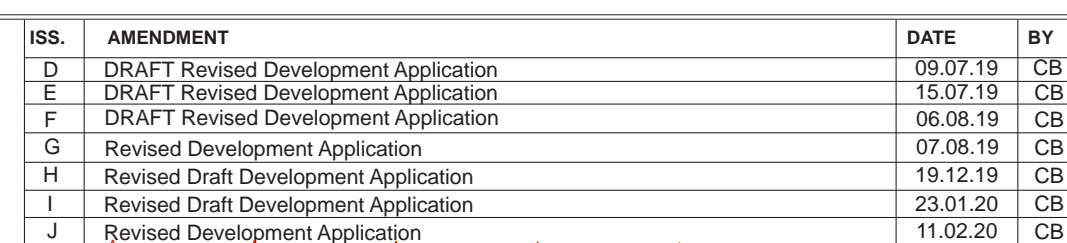
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L-DA-014

-
- This site plan illustrates the proposed development's layout. The building footprint is shown in white with black outlines. Landscaping is depicted with green areas, individual trees, and a central pond. The plan includes a north arrow and a scale bar. Surrounding context includes Pacific Hwy to the south and a bus stop to the east.

Architectural section drawing of a building facade with a large tree and landscaping. The drawing includes numbered callouts (1-7) and labels for 'SITE BOUNDARY', 'EX RL 105.14', and 'RL 104.70'. The tree is a large, mature specimen with a thick trunk and dense canopy. The building facade shows multiple levels with windows and balconies. The landscaping includes various shrubs and ground cover. The drawing is a technical illustration with a focus on the integration of nature and architecture.



**Fox
Johnston**

IMPORTANT NOTES:

Do not scale from drawings
All dimensions to be brought to the attention of the Landscape Architect
Do larger scales drawings and written dimensions take preference. All dimensions in mm unless otherwise stated
Do not scale from drawings and written dimensions
Use figured dimensions only
Verify all dimensions on site before the commencement of any works
Contractors shall locate and protect all services prior to construction
Work shall be carried out in accordance with the following:
Structural Details shall be subject to Engineer's Specifications.
Change & Water Feature Details shall be subject to Hydraulic Engineer's Specifications.
All work shall be carried out in a professional manner by Qualified Tradesman according to Landscape Drawings and Specifications.
Responsibility will be taken by 300 people, for any variations in design, construction method, materials specified, general specifications without permission from the Project Engineer or Landscape Architect.
The Drawing is copyright.

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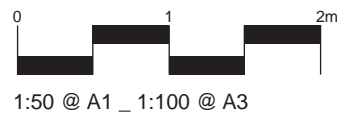
- LEGEND
- 1 PERMEABLE PATH
 - 2 BOUNDARY SCREEN HEDGE PLANTING
 - 3 PLANTING BEDS WITH MIXED SHRUBS AND GROUNDCOVERS
 - 4 SANDSTONE AND TIMBER SEATING WALL
 - 5 PRIVATE COURTYARD
 - 6 METAL VERTICAL FENCE



KEY PLAN - GROUND FLOOR



SECTION E - SOUTHERN BOUNDARY



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J	Revised Development Application	11.02.20	CB

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Fox Johnston

IMPORTANT NOTES:
Do not scale from drawings.
All dimensions to be checked to the attention of the Landscape Architect.
Landscape planting and other dimensions take preference. All dimensions in mm unless otherwise stated.
All tree dimensions and RLs in metres.
Use typical dimensions only.
Verify all dimensions on site before the commencement of any works.
Construction and finish and finish dimensions apply to construction.
All work shall be carried out in accordance with the NSW and ACT Local Government Regulations.
Structural details shall be subject to Engineer's Specifications.
Changes to Plant Species Details shall be subject to Engineer's Specifications.
All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and the Engineer's Specifications.
The responsibility will fall to the Engineer for any variation in design, construction method, materials specified, and general specifications without permission from the Project Engineer or Landscape Architect.
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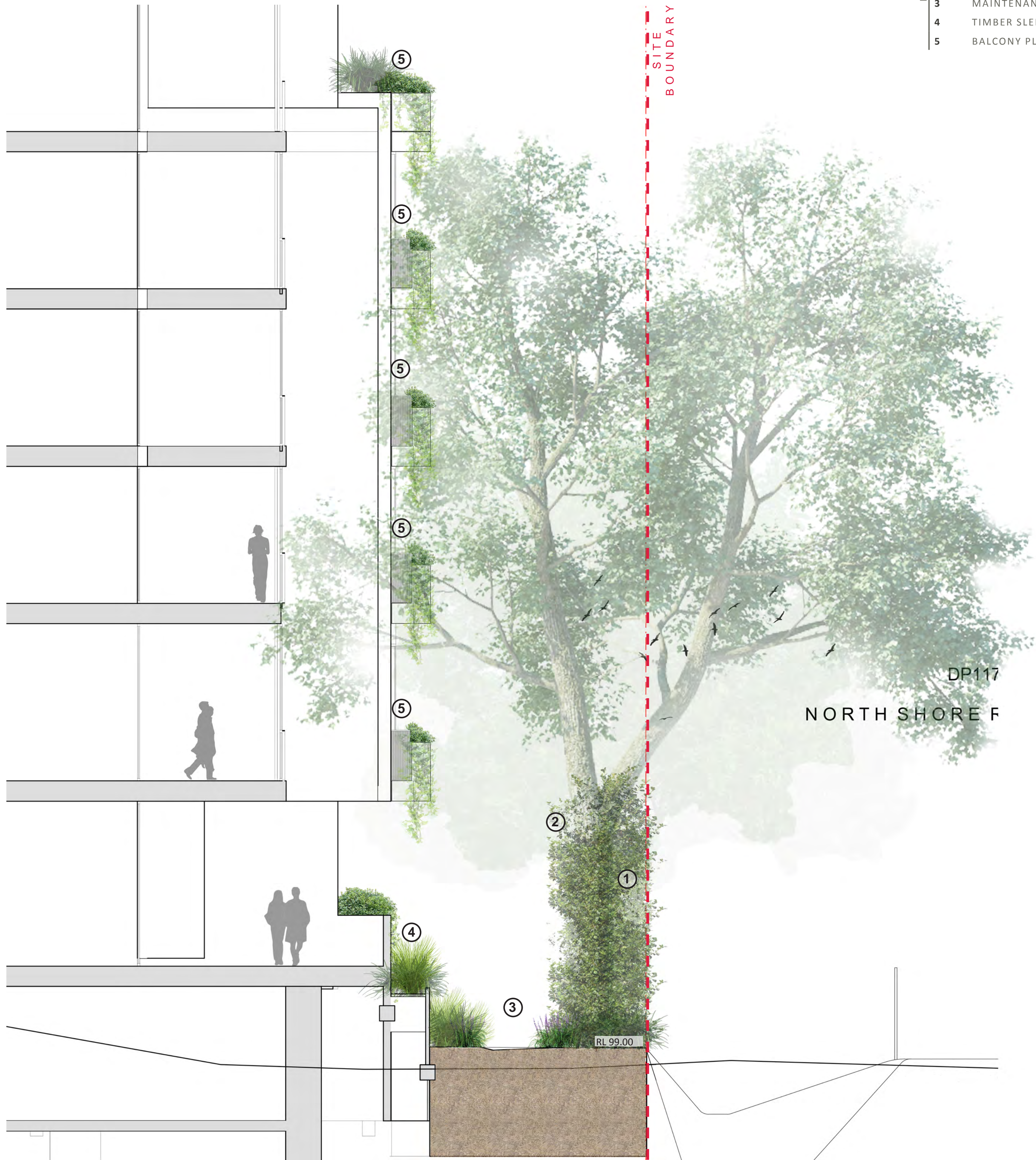
DWG. TITLE
Landscape Section E

PROJECT
Lindfield Village Living Project

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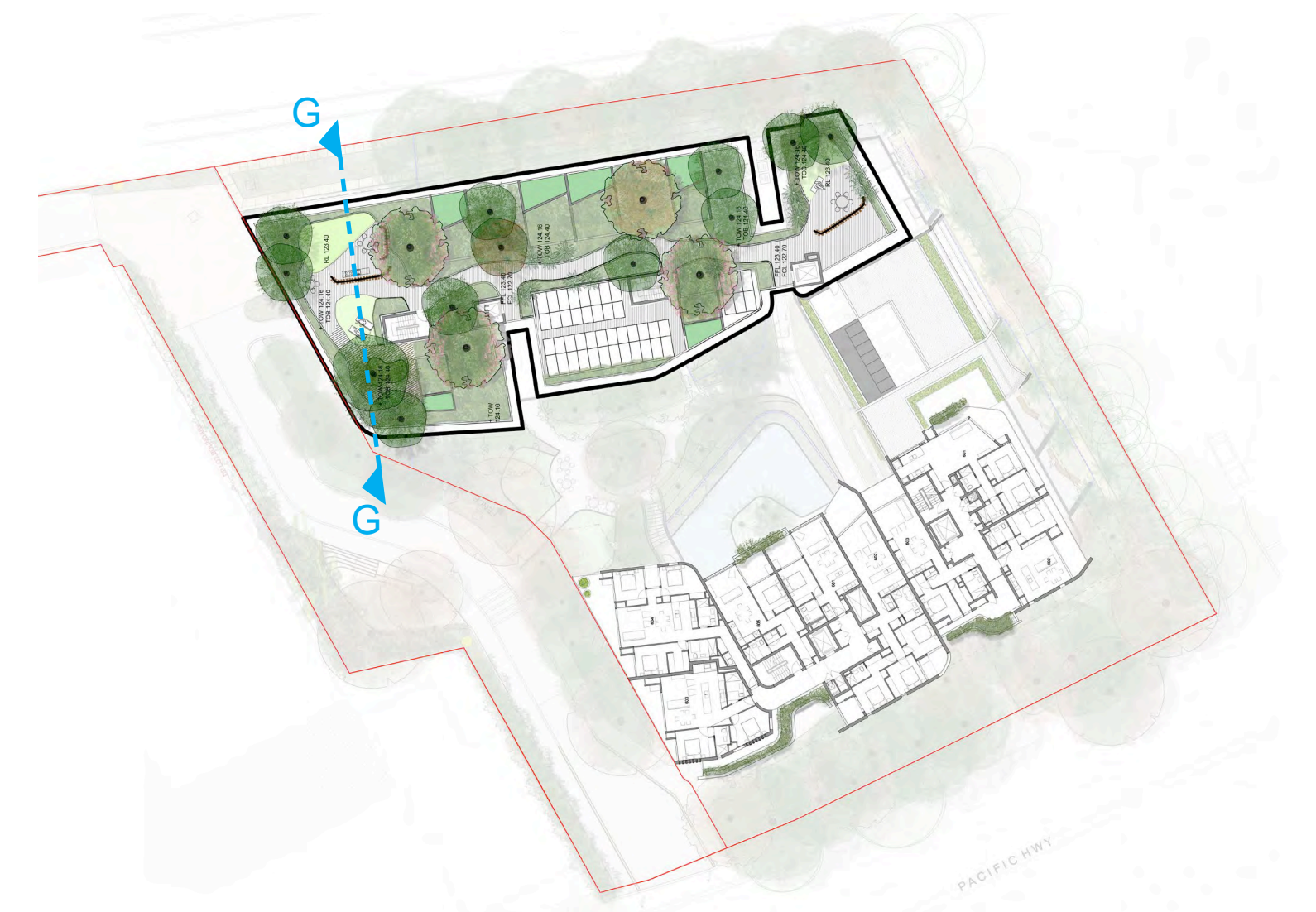
SECTION F - EASTERN BOUNDARY

- LEGEND
- 1 SCREEN PLANTING
 - 2 LARGE TREES TO SHELTER APARTMENTS FROM NORTH SHORE RAIL CORRIDOR
 - 3 MAINTENANCE ACCESS PATH
 - 4 TIMBER SLEEPER RETAINING WALLS AND PLANTING BEDS
 - 5 BALCONY PLANTING

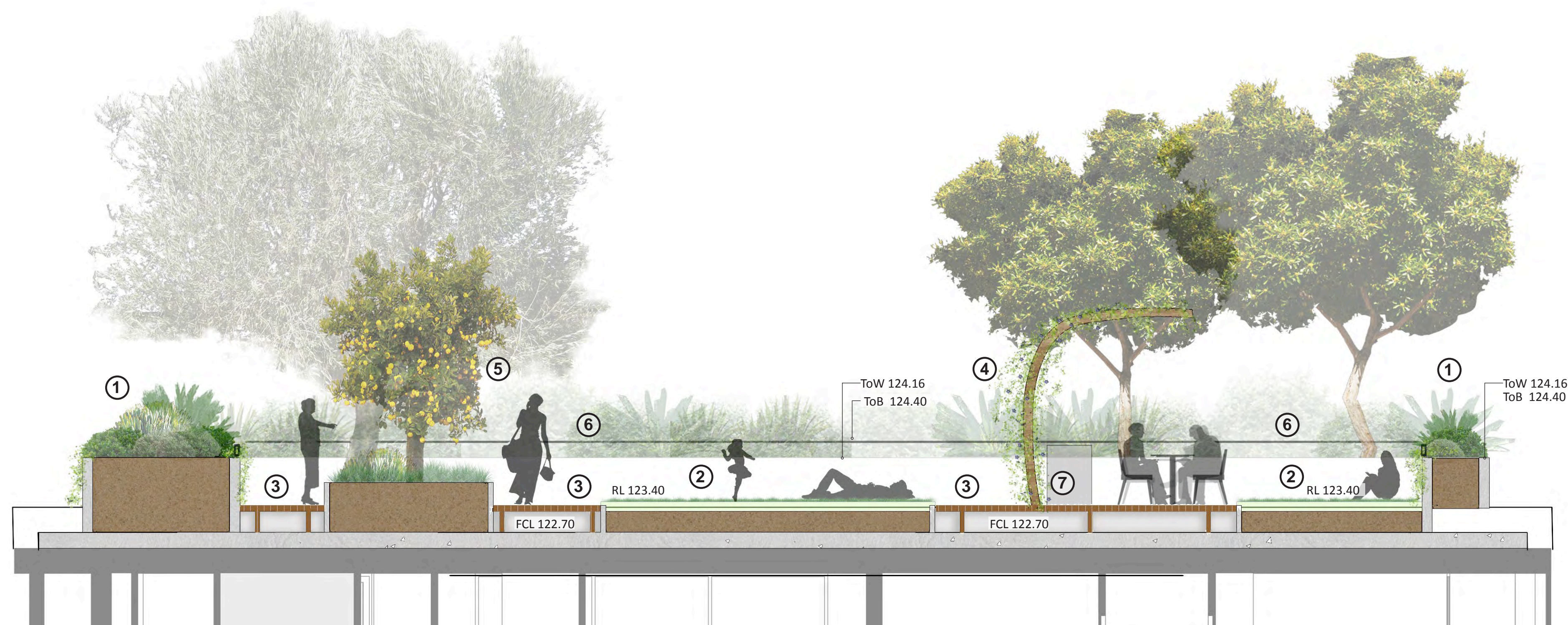
KEY PLAN - GROUND FLOOR



- LEGEND
- 1 ROOFTOP GARDEN PLANTING (MIN 500MM DEPTH). REFER TO PLANTING SCHEDULE
 - 2 LAWN POCKET
 - 3 TIMBER DECK
 - 4 TIMBER SHADE STRUCTURE WITH CLIMBERS GROWING OVER
 - 5 COMMUNITY VEGETABLE AND HERB GARDEN WITH COMPOST AND WORM FARM
 - 6 BALUSTRADE / PLANTER (760MM HIGH WITH 240MM RAIL)
 - 7 BBQ



KEY PLAN - ROOFTOP TERRACE



SECTION G - ROOFTOP TERRACE GARDEN

PLANTING ZONE 1 - Western Boundary



PLANTING ZONE 2 - Southern Boundary



TREES

Acer palmatum

Eucalyptus saligna

Pistacia chinensis

Lagerstroemia indica

SHRUBS AND GRASSES

Beschorneria yuccoides

Camelia sasanqua

Dianella caerulea 'Little Jess'

Gardenia augusta 'Florida'

Hydrangea quercifolia

Lavandula dentata

Prostanthera ovalifolia

Raphiolepis indica 'Oriental Pearl'

Raphiolepis indica 'Snow Maiden'

Syzygium australe 'Cascade'

Westringia fruticosa 'Mund'

GROUNDCOVERS

Plectranthus nico

Viola hederacea

TREES

Cyathea cooperi

Elaeagnus reticulata

Nyssa sylvatica

Tristanopsis laurina 'Luscious'

SHRUBS AND GRASSES

Alpinia caerulea

Asplenium australasicum

Asplenium bulbiferum

Backhousia citrifolia

Blechnum gibbum 'Silver Lady'

Blechnum nudum

Camelia sasanqua

Calathea zebrina

Dianella caerulea 'Little Jess'

Fatsia japonica

Michelia figo

Pachysandra terminalis

Philodendron 'Congo'

Philodendron 'Xanadu'

Plectranthus argenteus

Plectranthus argenteus 'Mona Lavender'

Prostanthera rotundifolia

Syzygium australe 'Cascade'

Dichondra repens

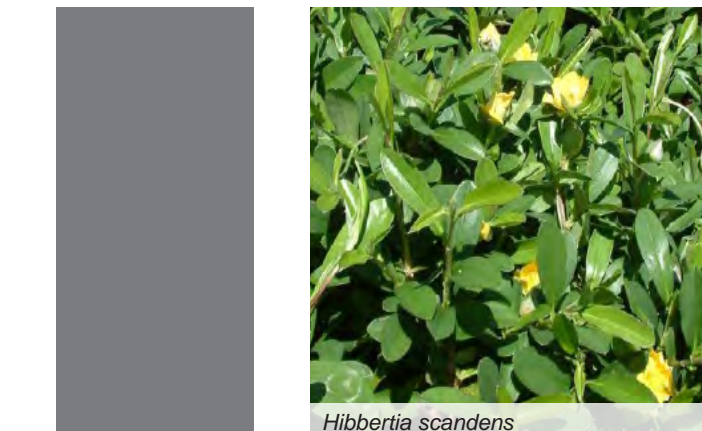
Plectranthus nico

Viola hederacea

PLANTING ZONE 3 - Eastern Boundary



PLANTING ZONE 4 – Street Verge and Bioretention

[illegible]

PLANTING ZONE 5 - Northern Boundary



PLANTING ZONE 6 - Central Communal Courtyard



TREES



Cyathea cooperi

Nyssa sylvatica

Zelkova serrata

SHRUBS AND GRASSES



Acmena smithii 'Sublime'

Alpinia caerulea

Asplenium australasicum

Blechnum gibbum 'Silver Lady'

Doryanthes excelsa

Indigofera australis

Michelia figo

Pachysandra terminalis

Philodendron 'Congo'

Philodendron 'Xanadu'

Plectranthus argentatus 'Mona Lavender'

Syzygium australe 'Cascade'

Telopea 'Shady Lady'

Dianella caerulea 'Little Jess'

Lomandra fluviatilis 'Shara'



Hibbertia scandens

Viola hederacea

TREES



Acer palmatum

Betula nigra

Howea forsteriana

Nyssa sylvatica

Lagerstroemia indica

Livistonia australis

SHRUBS AND GRASSES



Alpinia caerulea

Blechnum gibbum 'Silver Lady'

Doryanthes excelsa

Indigofera australis

Ligularia dentata

Michelia figo

Pachysandra terminalis

Plectranthus aregatus

Plectranthus argentatus 'Mona Lavender'

Raphiolepis indica 'Oriental Pearl'

Raphiolepis indica 'Snow Maiden'


Syzygium australe 'Cascade'

Telopea 'Shady Lady'

Dianella caerulea 'Little Jess'

Lomandra fluviatilis 'Shara'

Ophiopogon jaburan



Chryscephalum apiculatum

Hibbertia scandens

Trachelospermum jasminoides

Viola hederacea

PLANTING ZONE SCHEDULE

Botanical Name	Common Name	Mature Size	Pot Size	Square metre rate	Quantity
TREES & PALMS					
Acer palmatum	Japanese Maple	4m	100L	As shown	8
Angophora floribunda	Rough-barked Apple	30m	100L	As shown	3
Betula nigra	River Birch	15m	100L	As shown	7
Citris limon	Lemon	4m	75L	As shown	2
Cyathea cooperi	Australia Tree Fern	5 - 20m	various 2-4m CTH	As shown	28
Elaeocarpus reticulatis	Blueberry Ash	15m	45L	As shown	13
Eucalyptus paniculata	Grey Ironbark	15-30m	100L	As shown	3
Eucalyptus saligna	Sydney Blue Gum	15-30m	100L	As shown	7
Howea forsteriana	Kentia Palm	15m	various 2-4m CTH	As shown	9
Lagerstroemia indica	Crepe Myrtle	6m	100L	As shown	7
Livistonia australis	Cabbage Palm	10m	various 3m CTH	As shown	6
Nyssa sylvatica	Tupelo	11m	100L	As shown	6
Olea europaea	Olive Tree	7m	100L	As shown	3
Pistacia chinensis	Chinese pistachio	8m	100L	As shown	2
Plumeria rubra	Red Frangipani	5m	100L	As shown	2
Zelkova serrata	Japanese Elm	18m	100L	As shown	1
Tristaniopsis laurina 'Luscious'	Luscious Water Gum	12m	100L	As shown	20
SHRUBS					
Acmena smithii 'Sublime'	Sublime Lilly Pilly	5m	300mm	1 per linear meter	30
Aloe arborescens	Krantz Aloe	3m	200mm	2m2	70
Aloe pilcatilis	Fan Aloe	4m	300mm	1m2	35
Alpinia caerulea	Common Ginger	2.5m	200mm	3m2	120
Alyxia buxifolia	Sea Box	3m	200mm	2m2	70
Asplenium australasicum	Birds Nest Fern	1.5m	300mm	1m2	20
Asplenium bulbiferum	Mother Fern	1.2m	150mm	4m2	34
Backhousia citroidora	Lemon Myrtle	8m	300mm	1m2	9
Beschorneria yuccoides	Mexican Lily	2m	300mm	2m2	79
Blechnum gibbum 'Silver Lady'	Silver Lady Fern	1m	200mm	3m2	120
Blechnum nudum	Fishbone Fern	1m	200mm	3m2	26
Camellia sasanqua	Sasanqua Camellia	2 - 3m	300mm	1 per linear meter	45
Crassula ovata 'Blue Bird'	Bluebird Jade	1m	300mm	3m2	288
Crassula ovata 'Gollum'	Gollum Jade	1m	300mm	3m2	288
Calathea zebrina	Zebra Plant	1.2m	200mm	3m2	43
Doryanthes excelsa	Gynea Lily	2 - 4m	300mm	1m2	31
Fatsia japonica	Japanese Aralia	1.5m	200mm	3m2	26
Gardenia augusta 'Florida'	Fragrant Gardenia	1m	200mm	3m2	118
Grevillea rosmarinifolia	Rosemary Grevillea	1.5m	200mm	2m2	113
Hydrangea quercifolia	Oakleaf Hydrangea	2.5m	200mm	1m2	39
Indigofera australis	Australian Indigo	2.5m	200mm	3m2	94
Lavandula dentata	French Lavender	1m	200mm	4m2	157
Ligularia dentata	Leopard Plant	1m	200mm	3m2	60
Michelia figo	Port Wine Magnolia	4m	45L	1m2	40
Opuntia 'Burbank Blue'	Prickly Pear	1.5m	200mm	1m2	35
Pachysandra terminalis	Japanese Spurge	0.2m	200mm	5m2	200
Philodendron 'Congo'	Congo Philodendron	3m	200mm	3m2	60
Philodendron 'Xanadu'	Xanadu Philodendron	1m	200mm	4m2	79
Plectranthus argentatus 'Mona Lavender'	Mona Lavender	1m	200mm	5m2	200
Plectranthus argentatus	Silver Spurflower	3m	200mm	3m2	86
Prostanthera ovalifolia	Oval Leaved Mint Bush	5m	200mm	1m2	39
Prostanthera rotundifolia	Round Leaved Mint Bush	1.5m	200mm	1m2	9
Rhaphiolepis indica 'Oriental Pearl'	Oriental Pearl	1.5m	200mm	3m2	493
Rhaphiolepis indica 'Snow Maiden'	Snow Maiden	0.5m	200mm	3m2	309
Rosmarinus officinalis 'Blue Lagoon'	Prostrate Rosemary	0.25m	200mm	3m2	105
Syzygium australe 'Cascade'	Cascade Lilly Pilly	3m	300mm	1 per linear meter	148
Syzygium australe 'Resilience'	Resilience Lilly Pilly	3m	300mm	1 per linear meter	20
Telopea 'Shady Lady'	Warratah	3m	200mm	1m2	31
Westringia fruticosa 'Grey Box'	Coastal Rosemary Grey Box	0.5m	200mm	4m2	343
Westringia fruticosa 'Mundi'	Coastal Rosemary Mundi	0.5m	200mm	4m2	414
GRASSES					
Dianella caerulea 'Breeze'	Breeze Flax Lily	1m	150mm	5m2	87
Dianella caerulea 'Little Jess'	Little Jess Flax Lily	1m	150mm	5m2	769
Lomandra fluviatilis 'Shara'	Shara	0.5m	150mm	4m2	320
Lomandra hysterix 'Katie Belles'	Katie Belles	1.5m	150mm	3m2	52
Lomandra hystrix	Mat Rush	1m	150mm	4m2	
Ophiopogon jaburan	Giant Mondo Grass	0.3m	150mm	6m2	138
GROUNDCOVERS & CLIMBERS					
Aptenia cordifolia	Baby Sunrose	0.15m	150mm	4m2	187
Chrysocephalum apiculatum	Yellow Buttons	0.3m	150mm	5m2	349
Dichondra repens	Kidney Weed	0.2m	150mm	5m2	201
Hibbertia scandens	Golden Guinea Flower	0.5m	150mm	3m2	506
Myoporum parvifolium	Creeping Boobiala	0.2m	150mm	3m2	141
Pandorea pandorana	Wonga Wonga Vine	2m	200mm	1 per linear meter	6
Plectranthus nico	Swedish Ivy	1m	200mm	4m2	365
Rhipsalis baccifera	Mistletoe Cactus	8m (length)	200mm	4m2	243
Sedum rubrotinctum	Jelly Bean Plant	0.2m	150mm	5m2	234
Thunbergia grandiflora	Blue Trumpet	2m	200mm	1 per linear meter	6
Trachelospermum jasminoides	Star Jasmine	2m	200mm	1 per linear meter	29
Viola hederacea	Native Violet	0.2m	150mm	6m2	923